



## BUILDING REPORT

442 Orange Grove Rd  
Blackwall, NSW 2256

Peter McFadyen  
12/03/2026



Inspector  
**Ken Dyer**  


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# HELPING YOU TO GET TO KNOW YOUR PROPERTY

INSPECTION DETAILS	INSPECTOR DETAILS
Address: 442 Orange Grove Rd, Blackwall, NSW 2256  Date: 12/03/2026  Inspection Time: 9:00 am	Inspector: Ken Dyer Phone: 0437 202 257

Please find my completed report below, and I encourage you to read the report in its entirety.

Thank you for choosing our services for your property inspection needs. We appreciate the opportunity to assist you in evaluating your property. This report aligns with the specifications outlined in the Australian Standard AS4349.1 2007, defining the parameters of the property inspection.

It's important to recognize that client expectations may occasionally extend beyond the standard inspection scope. While we strive for a comprehensive assessment, this report serves as a snapshot of the property's condition as of 12/03/2026 at 9:00 am. We cannot anticipate future events or circumstances post-inspection, and therefore, we cannot be held responsible for issues that may arise thereafter.

Please thoroughly review this report. Understanding all provided information is crucial. If you have questions or need clarification, feel free to contact Ken Dyer, your inspector, before making decisions based on the report.

Although our inspectors are experienced, it's essential to note that they are not Structural Engineers. This report reflects the inspector's professional opinion based on their expertise. If concerns are raised, we strongly recommend consulting a qualified structural engineer or building professional for further assessment and advice.

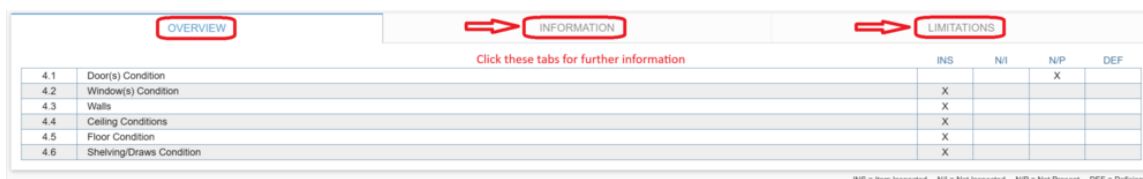
## TERMS AND DEFINITIONS:

Carefully read and comprehend the following definitions of terms in this report and the signed Agreement. This ensures a clear understanding of the inspection scope, challenges faced by the inspector, and the report contents. By accepting the Building Inspection Client Agreement, you confirm having read and understood its contents,

acknowledging that the inspection adhered to the agreement terms and AS4349.1.2007 standards.

Our commitment to effective communication involves a formal tone, creative style, and clear English language usage. We aim to provide you with a comprehensive and professional understanding of the inspection process terms and conditions.

For General Information, click the [INFORMATION TAB](#) at the top of each section to reveal more information when viewing here in HTML format.



		INS	NI	N/P	DEF
4.1	Door(s) Condition			X	
4.2	Window(s) Condition	X			
4.3	Walls	X			
4.4	Ceiling Conditions	X			
4.5	Floor Condition	X			
4.6	Shelving/Draws Condition	X			

INS = Item Inspected NI = Not Inspected N/P = Not Present DEF = Deficiency

## COMMENT DESCRIPTIONS:

Inspector comments fall into the following categories:

**INSPECTED** - (INSP): The item was inspected and appeared to function as intended, accounting for age and normal wear and tear.

**NOT INSPECTED** - (NI): The item was not inspected for reasons specified, and its functionality cannot be determined.

**NOT PRESENT** - (NP): The item was not in the property.

**DEFICIENCY** - (DEF): The item was inspected, and a concern, observation, deficiency, or safety issue was identified. It falls under the categories of Maintenance, Defect, or Major Defect/Safety Issue.

**MAINTENANCE**: Items needing maintenance, DIY/handyman work, or recommended upgrades. Neglecting these concerns may lead to defects or safety issues over time.

**DEFECT**: Concerns that, if unaddressed, may adversely impact the property's value or pose a risk to people or property. Remediation may require a qualified handyman or contractor.

**MAJOR DEFECT/SAFETY ISSUE**: A specific issue with significant adverse effects on property value or posing an unreasonable risk (Safety Issue). These concerns may be complex or costly to remedy, necessitating evaluation by a structural engineer and correction by a licensed contractor.



## MAINTENANCE/ MONITOR

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## SUMMARY

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Please find a summary of the findings, and I encourage you to read the full report in its entirety.

STANDARD PROPERTY INSPECTION REPORT PRE-PURCHASE - PRE-LISTING - PRE-AUCTION - PCI - (Building Inspection).

The purpose of the inspection report is to provide advice to the Client regarding the condition of the Building and Site at the time of the site inspection, as per Australian Standards AS 4349.0 & AS 4349.1:2007.

THE AGREEMENT: By engaging our services and requesting a building inspection, you, the client, acknowledge and agree that this document, the building inspection client agreement, establishes a legally binding contract between you and your Inspector Ken Dyer. This agreement outlines the terms and conditions that govern the inspection process and the subsequent report. When you place an order for a site inspection and report, you explicitly consent to the inspection being conducted in full compliance with the clauses outlined in this agreement. These clauses define the scope and limitations of the inspection, as well as the parameters for the contents of the ensuing report. SCOPE OF THE INSPECTION REPORT & THE ENGAGEMENT CONTRACT

- 1) EXTENT OF REPORTING: Major defect findings. A general impression regarding the extent of minor defects. Any major defect uncovered in the course of the inspection is an urgent and serious safety hazard.
- 2) REPORT: The Inspection of the Building Elements as outlined in Appendix C of AS4349.1-2007 except for Strata title properties where the Inspection is according to Appendix B of AS4349.1:2007.
- 3) THE INSPECTION was carried out in accordance with AS 4349.1:2007. A copy of the Australian Standard may be obtained from Standards Australia.
- 4) THE INSPECTION AND REPORT compare the inspected building with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and durability. No prediction of future conditions, warranties or warranties is given.
- 5) THE INSPECTIONS IS A NON-INVASIVE VISUAL INSPECTION and are limited to those areas and sections of the property to which Reasonable Access was both available and permitted on the day and time of the Inspection.
- 6) THIS INSPECTION DID NOT involve any invasive inspection, including cutting, breaking apart, dismantling, removing or moving objects including, but not limited to, roofing, wall and ceiling sheeting, ducting, foliage, mouldings, debris, roof insulation, sarking, sisalation, floor or wall coverings, sidings, fixings, floors, pavers, furnishings, appliances or personal possessions.
- 7) THE INSPECTOR COULD NOT see or inspect inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or in other areas that are concealed or obstructed or any area or item that could not be inspected by the inspector. An invasive inspection was not performed unless a separate contract is entered into with the client and property owner.
- 8) THIS INSPECTION DID NOT report on the presence or not of Timber Pest activity. We strongly recommend the client have a timber pest inspection carried out in accordance with AS4349.3-2010 Timber Pest Inspections by a fully qualified and insured timber pest inspector. If timber pest damage is found in the course of the Inspection, then it will be reported. The Inspector will only report on the damage that is visible at the time of Inspection.
- 9) Any estimates provided in this report are merely opinions of costs that could be encountered based on the knowledge and experience of the Inspector; it is always recommended you seek three written quotes to confirm any costs.

10) SUBJECT TO REASONABLE AND SAFE ACCESS, the Inspection will normally report on the conditions of each of the following areas:- The interior, The roof space, The exterior, The sub-floor, The roof exterior, From the main building 30 meters including fences within the property boundary. Reasonable Access means access to areas as defined in AS 4349.1-2007. The standard defines reasonable access as access to "areas where safe, unobstructed access is provided and the minimum clearances specified in the Table below are available or, where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

ACCESS TABLE: Roof void access hole 400 x 500mm minimum

- Crawl space above access hole 600 x 600mm minimum clearance
- Access hole from a 2.1m step ladder or a 3.6m ladder placed against a wall
- Sub-floor vertical access hole 400mm x 500mm minimum
- Timber floor vertical clearance 400mm to bearer, joist or other obstructions
- Concrete floor 500mm vertical clearance

11) REPORT OWNERSHIP: The Inspector named on this report will remain the owner of the report at all times. The fee paid by the Client is for the physical Inspection only. The Inspector named on the report retains all rights and copyrights to the written report, which the Inspector has granted the Client, named on the report, a copy for their information only. All rights reserved. No part of the report may be reproduced in any manner or passed on to any third party without the express written consent of the Inspector named on the report.

12) THE WRITTEN REPORT prepared by the Inspector shall be considered the final exclusive findings of the Company of the structure. The client named on this report understands and agrees they will not rely on any oral statements made by the Inspector prior to the issuance of the written report and further understands and agrees the company reserves the right to modify the inspection report for a period of time that shall not exceed seventy-two (72) hours after the inspection report has first been delivered to Client.

13) THE INSPECTION did not cover or report on the following conditions: Neighbourhood usage such as pests, closeness to mines, public transport, hotels, sewer drainage, storm-water drains, public entertainment venues, etc. Document analysis, e.g. plans and diagrams, surveys, building approvals, compliance, etc. Where the property is held under a strata or similar title, the Inspector will only inspect the interior and immediate exterior of the particular unit being inspected.

14) THE INSPECTION did not cover or report on the following conditions: Environmental matters such as aspect, sunlight, privacy, streetscape, views, etc. Proximity to railways, flight paths or busy road traffic, etc. Health or safety conditions such as the presence of asbestos, lead, radon, urea-formaldehyde or toxic soils, etc. Heritage or security matters. The condition of pools, spas or septic systems, ponds, etc. Fire protection or safety. Asbestos. Mould. Plumbing and electrical wiring, etc., including unauthorised or illegal plumbing or electrical work. Unauthorised or illegal building work. The durability of exposed finish materials.

15) DISCLAIMER OF LIABILITY: -No Liability shall be accepted on any account of the failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for Inspection or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report) and you agree to indemnify us for any failure to find such concealed defects. The following definitions of comment descriptions are presented in this inspection report. Please consider all comments by the Inspector before purchasing this property.

Inspected (INSP) = The item, component, or system was inspected, and if no other comments were made, then it appeared to be functioning as intended, allowing for normal wear and tear.

Not Inspected (NI) = The item, component, or system was not inspected due to one or more reasons, and no representations could be made of whether or not it was functioning as intended.

Not Present (NP) = The item, component, or system was not in this home or building.

**DEFICIENCY (DEF)** = The item, component, or system was inspected, and a concern, observation, and/or DEFICIENCY was found and fell under one of the following categories.

**MAINTENANCE** = Maintenance items, DIY/Handyman items, or recommended upgrades will fall into this category. These concerns will ultimately lead to Defects, Major Concerns, and/or Safety Issues if left neglected for extended periods of time. These Concerns may be more straightforward to remedy. DEFECT - Most items will fall into this category. These are concerns that inevitably lead to or directly cause (if not addressed in a timely manner) an adverse impact on the value of the home or unreasonable risk (Unsafe) to people or property. These concerns typically require further evaluation or may be more complicated to remedy, and can typically be corrected by a qualified handyman or a qualified and licensed contractor.

**MAJOR DEFECT/SAFETY ISSUE** = A specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property or that poses an unreasonable risk to people or property (Safety Issue). These Concerns are often imminent or may be very difficult or expensive to remedy and should be evaluated and corrected by a qualified & licensed contractor.

- 🔧 8.1.1 Bedroom 2 - Door(s) Condition: Door sticks or is binding
- 🔧 9.16.1 Laundry - Sink : Tap is loose
- 🔧 10.1.1 Studio - Bedroom 3 - Door(s) Condition: Warping/bow to door facing
- 🔧 14.7.1 Roof Void - Electrical : Inappropriate electrical wire termination observed



## 2: BEDROOM 1

		INS	N/I	N/P	DEF
2.1	Door(s) Condition	X			
2.2	Window(s) Condition	X			
2.3	Wall(s)	X			
2.4	Ceiling(s) Condition	X			
2.5	Floor(s) Condition	X			
2.6	Robe/Cupboard	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

#### Bedroom 1 image

Room identification



**Door(s) Condition: In serviceable condition at the time of inspection**

**Window(s) Condition: In serviceable condition at the time of inspection**

**Window(s) Condition: Window(s) Type**

Aluminium Window Frame/s,  
Flyscreen fitted

**Wall(s) : In serviceable condition at the time of inspection**

**Wall(s) : Walls Type/Material**  
Plasterboard Wall Lining

**Ceiling(s) Condition: The ceiling was found to be in a serviceable condition at the time of inspection**

**Floor(s) Condition: In serviceable condition at the time of inspection**

**Floor(s) Condition: Floor covering(s)**  
Carpet Floor Coverings

**Robe/Cupboard: In serviceable condition at the time of inspection**

**Ceiling(s) Condition: Fan functioned correctly when operated**

This is just an observation, no guarantees can be given on function of these items and need to be inspected by a licensed electrician for any further concerns

## 3: ENSUITE

		INS	N/I	N/P	DEF
3.1	Door(s)	X			
3.2	Window/s	X			
3.3	Walls	X			
3.4	Ceilings	X			
3.5	Floor	X			
3.6	Exhaust Fan	X			
3.7	Shower Base	X			
3.8	Shower Surround	X			
3.9	Tap(s)	X			
3.10	Shower Rose/Mast	X			
3.11	Shower Door/Curtain Condition	X			
3.12	Mirror			X	
3.13	Splashback	X			
3.14	Vanity/Cabinet/s	X			
3.15	Sink/s	X			
3.16	Waste Water Trap/s	X			
3.17	Toilet	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

**Door(s) : In serviceable condition at the time of inspection**

**Window/s: In serviceable condition at the time of inspection**

**Walls : In serviceable condition at the time of inspection**

**Ceilings : In serviceable condition at the time of inspection**

**Floor : In serviceable condition at the time of inspection**

**Exhaust Fan : In serviceable condition at the time of inspection**

**Tap(s) : All taps in serviceable condition at time of inspection**

Operated and appeared to function at the time of inspection.

**Shower Rose/Mast : In serviceable condition at the time of inspection**

Appeared to function as intended at time of inspection.

**Shower Door/Curtain Condition: In serviceable condition at the time of inspection**

Condition consistent with age and use

**Splashback: Serviceable condition at the time of inspection**

**Vanity/Cabinet/s : In serviceable condition at the time of inspection**

Consistent with the age of the original cabinetry

**Sink/s : In serviceable condition at the time of inspection**

**Waste Water Trap/s : In serviceable condition at the time of inspection**

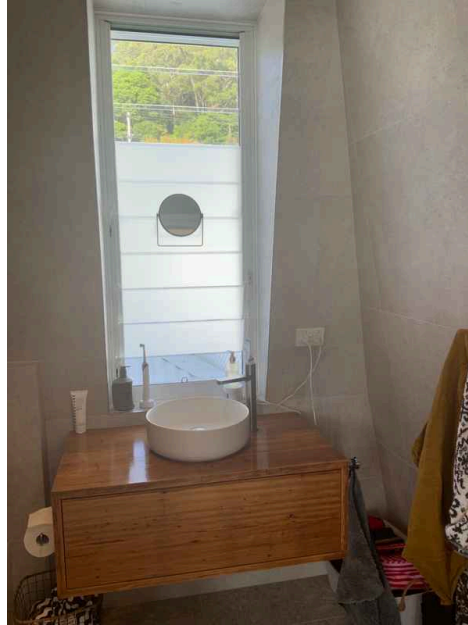
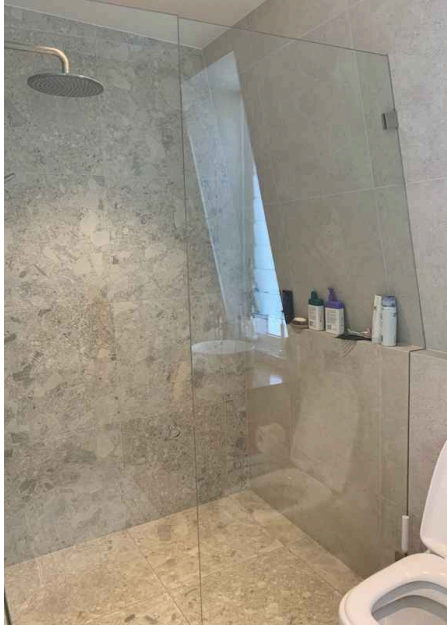
Appeared to be functioning as intended at time of inspection

**Toilet : In serviceable condition at the time of inspection**

Appeared to function as intended at the time of inspection

**Ensuite General View**

Room identification



**Shower Base : In serviceable condition at the time of inspection**

Regular caulking and grout maintenance is always recommended to ensure correct water dispersement in these areas

**Shower Surround: In serviceable condition at the time of inspection**

Regular caulking and grout maintenance is always recommended to ensure correct water dispersement in these areas

## 4: STAIRWELL

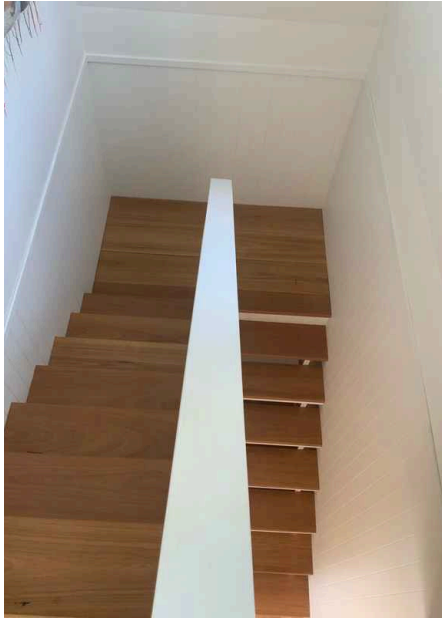
		INS	N/I	N/P	DEF
4.1	Stairs/Balcony identification	X			
4.2	Stair Conditions	X			
4.3	Handrail / Newel Post(s)	X			
4.4	Walls	X			
4.5	Ceiling	X			
4.6	Floor	X			
4.7	Windows	X			
4.8	Study Nook	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

**Stairs/Balcony identification:  
Stairs image(s)**

Image



**Stair Conditions: Accessible stair components appeared serviceable at the time of inspection**

**Handrail / Newel Post(s): Serviceable at the time of inspection**

**Walls: In serviceable condition at time of inspection**

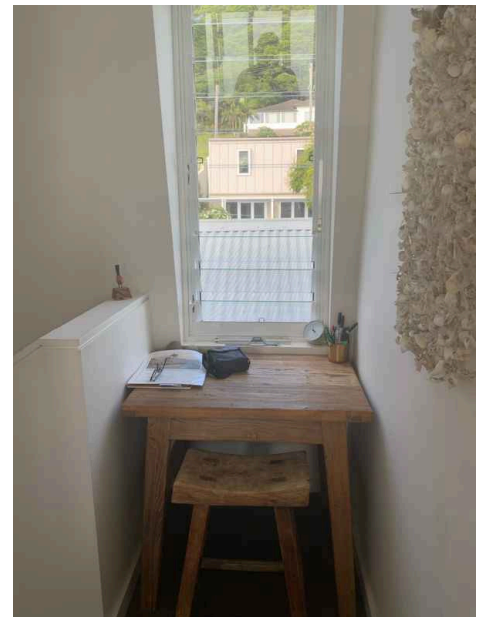
**Ceiling : In serviceable condition at time of inspection**

**Floor: In serviceable condition at time of inspection**

**Windows: In serviceable condition at time of inspection**

**Study Nook: Generally finished to an acceptable standard at the time of inspection**

**Study Nook: Image(s)**



## 5: LOUNGE ROOM

		INS	N/I	N/P	DEF
5.1	Door(s) Condition	X			
5.2	Wall Condition	X			
5.3	Window(s) Condition	X			
5.4	Ceiling Conditions	X			
5.5	Floor Condition	X			
5.6	Fireplace/Heater	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

#### Lounge room image(s)



**Door(s) Condition: In serviceable condition at the time of inspection**

**Wall Condition: In serviceable condition at time of inspection**

**Window(s) Condition: In serviceable condition at time of inspection**

**Ceiling Conditions: The ceiling was found to be in a serviceable condition at the time of inspection**

**Floor Condition: In serviceable condition at time of inspection**

#### **Ceiling Conditions: Ceiling fan functioned as intended**

This is just an observation, no guarantees can be given on function of these items and need to be inspected by a licensed electrician for any further concerns

#### **Fireplace/Heater: Gas fireplace observed**

Please note that this structural inspection does not include any testing or reporting on heaters. If you require assistance with your heating system, it is recommended that you engage a specialist in that field.

# 6: DINING ROOM

		INS	N/I	N/P	DEF
6.1	Door(s) Condition	X			
6.2	Window(s) Condition	X			
6.3	Wall Condition	X			
6.4	Ceiling Conditions	X			
6.5	Floor Condition	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Dining room image(s)



**Door(s) Condition:** In serviceable condition at the time of inspection

**Window(s) Condition:** In serviceable condition at time of inspection

**Wall Condition:** In serviceable condition at time of inspection

**Ceiling Conditions:** The ceiling was found to be in a serviceable condition at the time of inspection

**Floor Condition:** In serviceable condition at time of inspection

## 7: KITCHEN

		INS	N/I	N/P	DEF
7.1	Door(s) Condition	X			
7.2	Windows Condition	X			
7.3	Walls Condition	X			
7.4	Ceiling Conditions	X			
7.5	Floor Condition	X			
7.6	Exhaust Fan Condition	X			
7.7	Cooktop/Stove/Oven/Dishwasher	X			
7.8	Splashback	X			
7.9	Tap(s) Condition	X			
7.10	Sink Condition	X			
7.11	Waste Water Trap - under sink	X			
7.12	Bench Top Condition	X			
7.13	Cabinet Condition	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

#### Kitchen General View

Room identification



#### Includes sitting area



**Door(s) Condition:** In serviceable condition at the time of inspection

**Windows Condition:** In serviceable condition at the time of inspection

**Walls Condition:** In serviceable condition at the time of inspection

**Ceiling Conditions:** In serviceable condition when inspected

**Floor Condition:** In serviceable condition at the time of inspection

**Exhaust Fan Condition:** In serviceable condition at the time of inspection

**Splashback:** In serviceable condition at the time of inspection

Consistent with the age and type.

**Tap(s) Condition: In serviceable condition at the time of inspection**

Taps operated at time of inspection and appeared functional.

**Sink Condition: In serviceable condition at the time of inspection****Waste Water Trap - under sink: In serviceable condition at the time of inspection**

Appeared to be functioning as intended at time of inspection

**Bench Top Condition: In serviceable condition at the time of inspection**

Consistent with the age and type of materials.

**Cabinet Condition: In serviceable condition at the time of inspection**

Cabinets condition consistent with age and type of construction.

**Cooktop/Stove/Oven/Dishwasher: Cooktop/Oven/Stove**

Kitchen

Electrical appliances are not included in building inspections as outlined in AS4349.1. Please note that we do not conduct tests on electrical or gas appliances. However, we may briefly switch on the appliance at our discretion. We strongly recommend that all servicing and maintenance be performed by a qualified and experienced technician. Additionally, we suggest requesting a statement from the vendor regarding the condition of the appliance, as well as obtaining any available manuals.

**Cooktop/Stove/Oven/Dishwasher: Cook Top**

Electric Cooktop

Please note that we do not perform testing on electrical or gas appliances. However, we may switch on the appliance for a brief period at our discretion. We strongly advise that all servicing and maintenance should be undertaken by a qualified and experienced technician. We recommend requesting a statement from the vendor regarding the condition of the item and obtaining all manuals.

**Cooktop/Stove/Oven/Dishwasher: Oven**

Electric oven

Please note: we do not guarantee the correct temperature is reached as indicated on the controls, we turn on and off the appliances for a short time, we do not guarantee the future performance of this appliance. We recommend testing all appliances for correct operating prior to hand-over. Servicing and maintenance could be carried out by a suitably trained and qualified technician.

**Cooktop/Stove/Oven/Dishwasher: Dishwasher**

The dishwasher was not tested for correct operation. We recommend consulting a specialist technician to check and service this appliance. We recommend that you obtain the manuals from the vendor prior to close.

## 8: BEDROOM 2

		INS	N/I	N/P	DEF
8.1	Door(s) Condition	X			
8.2	Window(s) Condition	X			
8.3	Wall(s)	X			
8.4	Ceiling(s) Condition	X			
8.5	Floor(s) Condition	X			
8.6	Robe/Cupboard	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Bedroom 2 image

Room identification



**Door(s) Condition:** In serviceable condition at the time of inspection

**Window(s) Condition:** In serviceable condition at the time of inspection

**Window(s) Condition:** Window(s) Type

Aluminium Window Frame/s, Flyscreen fitted, Aluminium framed glass louvres

**Wall(s) :** In serviceable condition at the time of inspection

**Wall(s) : Walls Type/Material**  
Plasterboard Wall Lining, Fibro sheeting

**Ceiling(s) Condition:** The ceiling was found to be in a serviceable condition at the time of inspection

**Floor(s) Condition:** In serviceable condition at the time of inspection

**Floor(s) Condition: Floor covering(s)**  
Carpet Floor Coverings, Timber Flooring

**Robe/Cupboard:** In serviceable condition at the time of inspection

**Ceiling(s) Condition:** Fan functioned correctly when operated

This is just an observation, no guarantees can be given on function of these items and need to be inspected by a licensed electrician for any further concerns

## Limitations

Wall(s)

### **FIBRO SHEETING OBSERVED**

Caution - fibro cement (FC) sheeting may contain asbestos consistent with the age of the property.

Ceiling(s) Condition

### **FIBRO SHEETING OBSERVED**

Caution - fibro cement sheeting may contain asbestos consistent with the age of the property. Testing will be required to confirm.

## Observations

### 8.1.1 Door(s) Condition

#### DOOR STICKS OR IS BINDING



MAINTENANCE/ MONITOR

The door requires trimming or adjustment to function properly.



## 9: LAUNDRY

		INS	N/I	N/P	DEF
9.1	Door(s)	X			
9.2	Window	X			
9.3	Walls	X			
9.4	Ceiling	X			
9.5	Floor	X			
9.6	Exhaust Fan	X			
9.7	Splashback	X			
9.8	Laundry Tap/s	X			
9.9	Washing Machine Hook-ups	X			
9.10	Laundry Tub/Sink			X	
9.11	Cabinet	X			
9.12	Waste Water Trap/s	X			
9.13	Linen Cupboard	X			
9.14	Shower	X			
9.15	Toilet	X			
9.16	Sink	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

**Door(s) : In serviceable condition when inspected**      **Window : In serviceable condition when inspected**      **Walls : In serviceable condition at the time of inspection**

**Ceiling: In serviceable condition when inspected**      **Floor : In serviceable condition at the time of inspection**      **Exhaust Fan : In serviceable condition at the time of inspection**

Was functioning as intended at time of inspection

**Splashback: In serviceable condition at the time of inspection**

**Laundry Tap/s: In serviceable condition at the time of inspection**

Appeared to function as intended. No guarantee or warranty implied.

**Washing Machine Hook-ups: In serviceable condition at the time of inspection**

**Cabinet : In serviceable condition at the time of inspection**

**Waste Water Trap/s : In serviceable condition at the time of inspection**

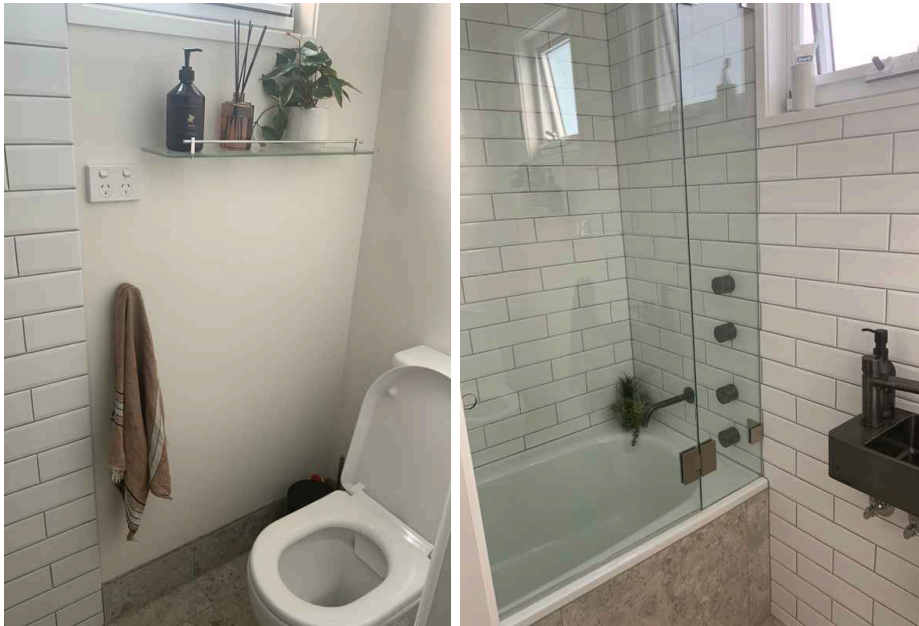
**Linen Cupboard: In serviceable condition at the time of inspection**

**Shower : In serviceable condition when inspected**

**Toilet: In serviceable condition when inspected**

**Sink : In serviceable condition**

**Including shower and toilet**



## Limitations

Washing Machine Hook-ups

### **WASHER HOOK UPS OBSERVED**

We do not disconnect the supply hoses to the washer or operate the valves. These can leak at any time and should be considered a part of normal maintenance.

## Observations

9.16.1 Sink

**TAP IS LOOSE**

Requires tightening to ensure correct function.

 MAINTENANCE/ MONITOR



## 10: STUDIO - BEDROOM 3

		INS	N/I	N/P	DEF
10.1	Door(s) Condition	X			
10.2	Window(s) Condition	X			
10.3	Wall(s)	X			
10.4	Ceiling(s) Condition	X			
10.5	Floor(s) Condition	X			
10.6	Robe/Cupboard	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

**Bedroom 3 image**

Room identification



**Window(s) Condition: In serviceable condition at the time of inspection**

**Window(s) Condition: Window(s) Type**  
Aluminium Window Frame/s,  
Flyscren fitted

**Wall(s) : In serviceable condition at the time of inspection**

**Wall(s) : Walls Type/Material**  
Plasterboard Wall Lining, VJ sheeting

**Ceiling(s) Condition: The ceiling was found to be in a serviceable condition at the time of inspection**

**Floor(s) Condition: In serviceable condition at the time of inspection**

**Floor(s) Condition: Floor covering(s)**  
Polished concrete

**Robe/Cupboard: In serviceable condition at the time of inspection**

**Ceiling(s) Condition: Fan functioned correctly when operated**

This is just an observation, no guarantees can be given on function of these items and need to be inspected by a licensed electrician for any further concerns

**Observations**

10.1.1 Door(s) Condition

**WARPING/BOW TO DOOR FACING**

Recommend repair or replacement to improve appearance

 MAINTENANCE/ MONITOR



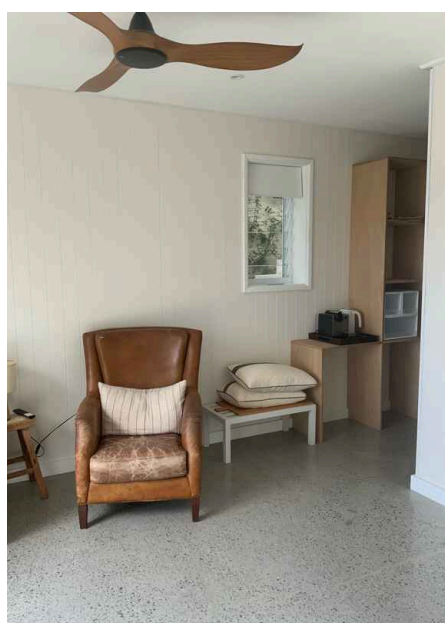
# 11: STUDIO - SITTING ROOM

		INS	N/I	N/P	DEF
11.1	Door(s) Condition	X			
11.2	Window(s) Condition	X			
11.3	Wall Condition	X			
11.4	Ceiling Conditions	X			
11.5	Floor Condition	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Sitting Room Images



**Door(s) Condition:** In serviceable condition at the time of inspection

**Window(s) Condition:** In serviceable condition at time of inspection

**Wall Condition:** In serviceable condition at time of inspection

**Ceiling Conditions:** The ceiling was found to be in a serviceable condition at the time of inspection

**Floor Condition:** In serviceable condition at time of inspection

## 12: STUDIO - ENSUITE 2

		INS	N/I	N/P	DEF
12.1	Door(s)	X			
12.2	Window/s			X	
12.3	Walls	X			
12.4	Ceilings	X			
12.5	Floor	X			
12.6	Exhaust Fan	X			
12.7	Shower Base	X			
12.8	Shower Surround	X			
12.9	Tap(s)	X			
12.10	Shower Rose/Mast	X			
12.11	Shower Door/Curtain Condition	X			
12.12	Mirror	X			
12.13	Splashback	X			
12.14	Vanity/Cabinet/s	X			
12.15	Sink/s	X			
12.16	Waste Water Trap/s	X			
12.17	Toilet	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Ensuite General View

Room identification



**Door(s) : In serviceable condition at the time of inspection**

**Walls : In serviceable condition at the time of inspection**

**Ceilings : In serviceable condition at the time of inspection**

**Floor : In serviceable condition at the time of inspection**

**Exhaust Fan : In serviceable condition at the time of inspection**

**Tap(s) : All taps in serviceable condition at time of inspection**

Operated and appeared to function at the time of inspection.

**Shower Rose/Mast : In serviceable condition at the time of inspection**

Appeared to function as intended at time of inspection.

**Shower Door/Curtain Condition: In serviceable condition at the time of inspection**

Condition consistent with age and use

**Mirror : In serviceable condition at the time of inspection**

**Splashback: In serviceable condition at the time of inspection**

**Vanity/Cabinet/s : In serviceable condition at the time of inspection**

Consistent with the age of the original cabinetry

**Sink/s : In serviceable condition at the time of inspection**

**Waste Water Trap/s : In serviceable condition at the time of inspection**

Appeared to be functioning as intended at time of inspection

**Toilet : In serviceable condition at the time of inspection**

Appeared to function as intended at the time of inspection

**Shower Base : In serviceable condition at the time of inspection**

Regular caulking and grout maintenance is always recommended to ensure correct water dispersement in these areas

**Shower Surround: In serviceable condition at the time of inspection**

Regular caulking and grout maintenance is always recommended to ensure correct water dispersement in these areas

## 13: INTERIOR COMMENTS

		INS	N/I	N/P	DEF
--	--	-----	-----	-----	-----

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

**Interior General Comments**

Appliances and Airconditioning is not tested as part of this building inspection, Floor covering installed over concrete/timber floor. Where floor coverings are installed the materials and condition of the flooring underneath cannot be determined, Caution - Fibro cement sheeting may be present consistent with the age of the property and may contain asbestos

**Was Visible Termite Damage Observed?**

No visible termite damage was observed to inspected areas or items at the time of inspection

# 14: ROOF VOID

		INS	N/I	N/P	DEF
14.1	Roof Cladding Underside		X		
14.2	Framing	X			
14.3	Ceiling Insulation	X			
14.4	Sarking	X			
14.5	Ceiling Lining		X		
14.6	Ventilation			X	
14.7	Electrical	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Roof Void Access/Type

Portions of the roof are raking ceiling design and the ceiling void is not able to be inspected, Access was gained to the roof space however not every component was inspected due to varying heights/framing design/insulation/mechanical services and the like

### Ceiling Insulation : Insulation

#### Type

Fiberglass Batts

### Roof Void Images



### Framing : Framing condition to accessible frame appeared to be serviceable

The visibly accessible framing components were found to be in good condition at the time of inspection, consistent with the age and type of construction. This assessment does not guarantee that all sizing and fixings comply with current building codes. It is essential to note that roof voids often contain hidden or inaccessible areas where defects may be present. Due to factors such as varying heights, mechanical services, insulation, and other obstructions, not all components could be inspected. These excluded areas and components are not covered in this report.

### Ceiling Insulation : Good coverage

The insulation appears to be in serviceable condition at the time of inspection.

## Sarking : Sarking has been installed to underside of roof cladding

Installed to the underside of the roof cladding

Visible areas in serviceable condition at the time of inspection based on the age and type of material.

## Limitations

Roof Cladding Underside

### ROOF CLADDING UNDERSIDE INSPECTION RESTRICTED

During the building inspection, access to inspect the roof cladding underside was restricted due to the presence of sarking. This limitation prevents a comprehensive assessment of the roof's interior condition and potential hidden issues. The installed sarking material blocks direct visual examination of the underlying roof structure.

Ceiling Lining

### UNABLE TO INSPECT DUE TO INSULATION BEING INSTALLED

There may be hidden defects that were unable to be detected.

## Observations

14.7.1 Electrical

### INAPPROPRIATE ELECTRICAL WIRE TERMINATION OBSERVED



MAINTENANCE/ MONITOR

Exposed wiring connection observed. This is a safety concern. Recommend review all electrical connections and installing proper junction boxes as needed by a licensed electrician.



# 15: ROOF & DRAINAGE SYSTEM

		INS	N/I	N/P	DEF
15.1	General	X			
15.2	Roof cladding	X			
15.3	Roof flashings	X			
15.4	Valley gutter(s)			X	
15.5	Facia/Bargeboards	X			
15.6	Gutters	X			
15.7	Downpipes	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### General: Roof Cladding Material

Colorbond metal pan, Colorbond corrugated metal

### General: Comments

2 storey roofs are not accessed due to excessive height and safety issues

### General: Methods used to inspect roof

Visually inspected from ground. Not mounted due to height and pitch making mounting of roof dangerous

### General: Roof Flashing Material

Colorbond metal

### General: Gutter & Downpipe material

Colorbond metal gutters, PVC downpipes

### Roof cladding : Roof cladding material

Roof Cladding Material - Colourbond Steel

### Facia/Bargeboards: In serviceable condition at time of inspection

### Roof cladding : The visible areas appeared to be in serviceable condition at time of inspection from the ground

Important Note: Not all components of the roof were inspected due to height, complexity, and inaccessible areas. We do not offer predictions of future performance or warranties. It is important to note that roofs may experience leaks at any time, particularly at roof penetrations, flashings, box gutters, directional changes, or material transitions. Promptly addressing a roof leak is crucial to prevent damage to the structure, interior finishes, and furnishings. However, a roof leak does not automatically indicate the need for roof replacement. To minimize the risk of leakage and maximize the lifespan of the roof system, we highly recommend an annual inspection and tune-up. Please note that no guarantee or warranty is implied.

### Roof flashings : The roof flashing, where visible, appears to be in satisfactory condition

The assessable roof flashing appeared satisfactory.

A yearly inspection is recommended.

Flashings are impervious materials (usually galvanized or lead sheet metal) that come in various shapes and sizes. It is used to cover, waterproof, and direct water away from roof penetrations, valleys, and intersections between the roof covering and other materials.

### Gutters : Gutters Appeared Serviceable at the time of inspection

It's not always possible to fully inspect the gutters due to height and safety issues, debris, and other limiting factors encountered.

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**Downpipes: In serviceable condition at time of inspection**

Please note that there is no guarantee of the system's performance. Monitor in periods of rain.

## Limitations

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Gutters

**LIMITED INSPECTION FROM GROUND**

No inspection of internal area of gutters

# 16: EXTERIOR

		INS	N/I	N/P	DEF
16.1	Eave/Soffit linings	X			
16.2	Walls	X			
16.3	Window/Frames	X			
16.4	Damp damage	X			
16.5	Differential movement	X			
16.6	Brick Fretting	X			
16.7	Mortar eroding	X			
16.8	Weep holes/Vents			X	
16.9	Protective paint coatings	X			
16.10	Control joints			X	
16.11	Lintel beams			X	
16.12	Visible Foundation			X	
16.13	Door step/threshold	X			
16.14	Porch	X			
16.15	Deck Condition	X			
16.16	Electrical Meter / Observations	X			
16.17	Gas supply			X	
16.18	Hot-water unit/s	X			

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## Information

**Eave/Soffit linings:** In serviceable condition at the time of inspection

**Walls: Wall Cladding Material**  
Fibre cement sheeting with expressed joints

**Window/Frames: Windows** generally In serviceable condition at time of inspection

Refer also internal comments as well.

**Damp damage:** No evidence of Damp damage

There was no evidence of damp damage at the time of the inspection.

**Differential movement:** No significant differential movement observed at the time of inspection

**Brick Fretting:** Bricks are generally in serviceable condition

Consistent with style and age of property

**Mortar eroding:** All visible mortar joints appear sound and serviceable condition at the time of inspection

**Door step/threshold:** In serviceable condition at time of inspection

**Porch :** In serviceable condition at time of inspection

**Deck Condition:** In serviceable condition at time of inspection

**Electrical Meter / Observations:****Termite management/ treatment notice was present in meter box**

Please refer to the timber pest report for additional information.

**Exterior Comments**

The exposed timber externally should be routinely monitored and kept well painted to prevent rot and deterioration.

**Deck Material**

Timber framed, Composite material for decking boards

**Electric Meter Location**

Front, Left Side

**Exterior Wall Cladding Material**

Fibre cement sheeting

**Flashing Material**

Metal

**Patio/Pergola Material**

No patio / pergola present

**Gas supply Location**

Not observed

**Foundation Materials**

Crawlspace, Timber frame on piers

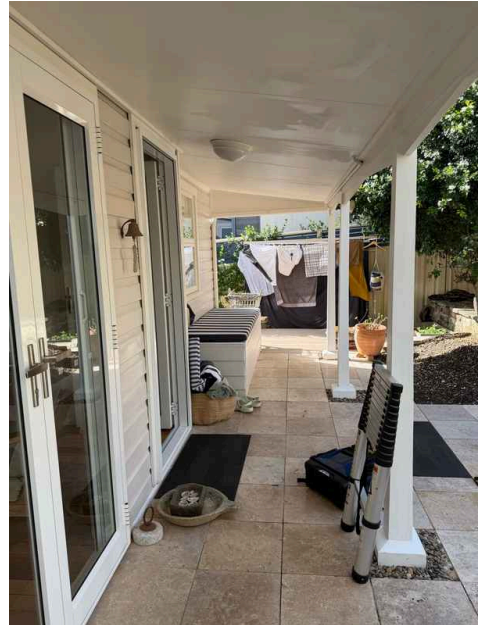
**Porch Material**

Pavers, Timber framed roof

**Window/Frame Materials**

Aluminium window/s

### Exterior Images



**Walls: The inspected external walls was determined to be in a serviceable condition relative to age**

The external walls are consistent with the age and type of construction. A thorough annual inspection is highly recommended to ensure ongoing maintenance and address any potential issues.

**Protective paint coatings: Protective paint coatings found to be in serviceable condition at the time of the inspection**

The paint condition is consistent with its age. Painting the exterior with a high-quality paint system will provide optimal protection against weather and environmental conditions for years to come.

**Electrical Meter / Observations: Electrical systems are required by law to be assessed and reported on by a licensed electrician.**

Please note that a standard building inspection, following AS4349.1 guidelines, does not include a detailed electrical inspection. Any observed safety concerns related to the electrical systems will be noted in the report. The main goal of the building inspection is to assess the property's general condition and identify visible defects as outlined in AS4349.1 Australian Standards. We strongly recommend a thorough electrical inspection by a licensed electrician for a complete evaluation of the installed electrical systems.

**Hot-water unit/s: Heat pump assisted Hotwater Unit**

Heat pump water heaters use electricity to transfer heat from one location to another, rather than generating heat directly. As a result, they can be two to three times more energy-efficient than conventional electric resistance water heaters.

Similar to a refrigerator but in reverse, a heat pump water heater extracts heat from the surrounding air and transfers it to a tank, raising the temperature of the water. While a refrigerator removes heat from inside and releases it into the surrounding room, a stand-alone air-source heat pump water heater pulls heat from the ambient air and increases its temperature to heat the water in the tank.

## 17: SUBFLOOR SPACE

		INS	N/I	N/P	DEF
17.1	Bearers/Floor Joist Condition	X			
17.2	Support Stump (Post/Pier) Comments	X			
17.3	Visible Plumbing Condition	X			
17.4	Crawlspace Floor Condition	X			
17.5	Crawlspace Walls Condition	X			
17.6	Foundation Comments	X			
17.7	Insulation Condition			X	
17.8	Ventilation Comments	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

### Information

**Bearers/Joist Material/Style**

Timber beams and floor joists

**Comments**

Limited inspection due to low headroom in areas

**Crawlspace Access**

Areas not crawled due to low headroom.

**Crawlspace Floor Material**

Dirt

**Crawlspace Walls Material**

Timber screens

**Foundation Style**

Crawlspace

**Insulation Material**

No insulation present

**Subfloor Material**

Particle Board, Timber Plank

**Support Post/stumps Material**

Brick

**Ventilation Type**

Screened openings

**Visible Plumbing Material**

Copper, Pex, PVC

**Bearers/Floor Joist Condition:** The visibly accessible Beams and floor joists appear in serviceable condition relation to age  
Sub-floor

**Support Stump (Post/Pier)**

**Comments:** The visibly accessible supports appear to be in serviceable condition at time of inspection

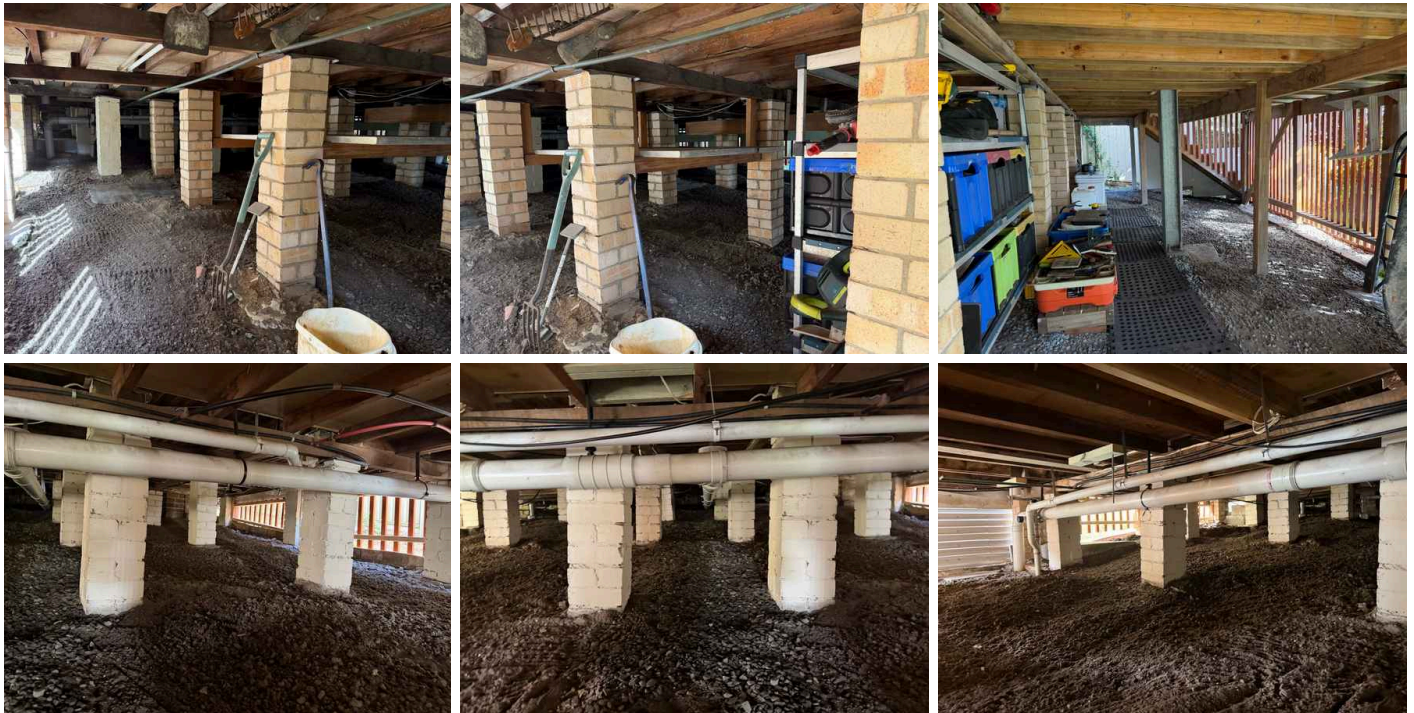
**Crawlspace Floor Condition:**

Inserviceable condition at time of inspection

**Crawlspace Walls Condition:** In

serviceable condition at time of inspection

**Subfloor images**



**Visible Plumbing Condition:** Inserviceable condition at time of inspection

No guarantee or warranty implied. A licensed plumber should be engaged to inspect any plumbing

**Foundation Comments:** Generally in serviceable condition at time of inspection

Only visible portions of foundations inspected where readily accessible. No guarantee or warranty given to the structural design/capacity of the foundations especially footings below ground.

**Ventilation Comments:** In serviceable condition at time of inspection

No significant moisture issues observed at time of inspection. No guarantee implied or given. Any future moisture issues (not observed at time of inspection) may require additional ventilation.

# 18: GARAGE

		INS	N/I	N/P	DEF
18.1	General	X			
18.2	Roof Condition	X			
18.3	Gutter/ Downpipes Conditions	X			
18.4	Window Conditions	X			
18.5	Personal Access Door Condition	X			
18.6	Vehicle Door Condition	X			
18.7	Floor Condition	X			
18.8	Foundation	X			
18.9	Exterior Wall Cladding Conditions	X			
18.10	Ceiling Lining Condition	X			
18.11	Internal Wall Lining Condition	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### General: Garage Type

Free standing garage, With studio under

### General: Comments

Limited inspection due to storage of personal property.

### General: Garage Floor Material

Concrete

### General: Garage Roof Material

Colorbond steel

### General: Wall cladding Material

Colorbond steel walls, Concrete block walls

### General: P/A Door Material

Aluminium framed glass

### General: Garage Window Material

Aluminium

### General: Vehicle Door Material/ Style

Panel lift style

### General: Gutter/Downpipes Material

Colorbond gutters, PVC downpipes

### General: Garage Ceiling Lining Material

Plasterboard

### General: Internal Wall linings Material

Plasterboard

### Gutter/ Downpipes Conditions: In serviceable condition at time of inspection

Consistent with the age and type

### Window Conditions: In serviceable condition at time of inspection

### Personal Access Door Condition: In serviceable condition at time of inspection

### Vehicle Door Condition: In serviceable condition at time of inspection

Electric motor appeared to operate as intended a time of inspection

### Floor Condition: In serviceable condition at time of inspection

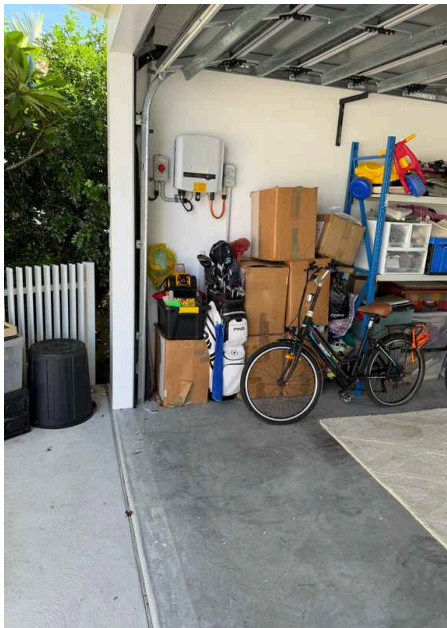
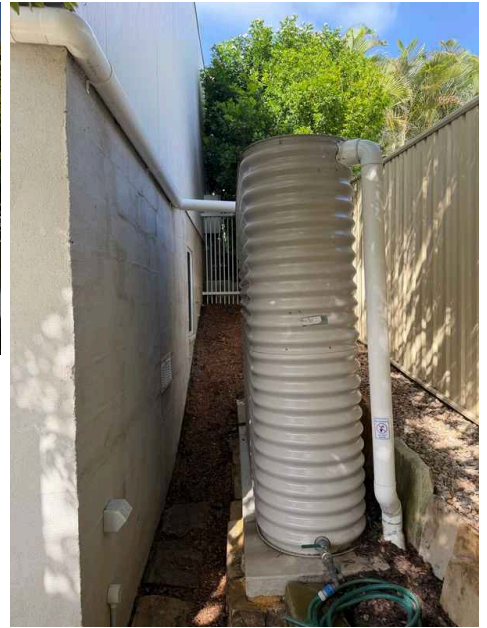
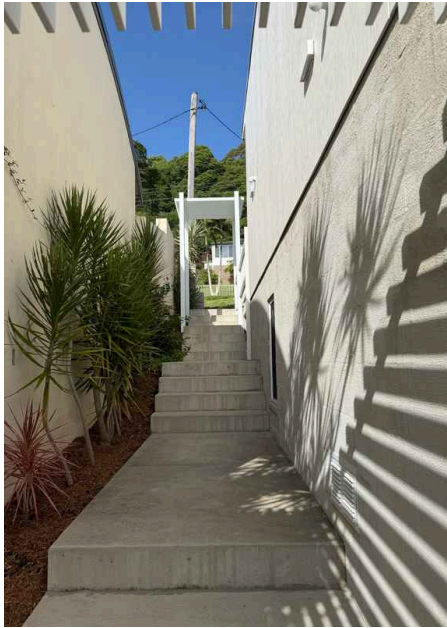
Consistent with age and type of construction.

### Exterior Wall Cladding Conditions: In serviceable condition at time of inspection

### Ceiling Lining Condition: In serviceable condition at time of inspection

**Internal Wall Lining Condition: In serviceable condition at time of inspection**

**Identification Image(s)**



**Roof Condition: In serviceable condition at time of inspection**

Roof shows normal wear for its age and type. No prediction on performance or warranty implied.

**Gutter/ Downpipes Conditions: Rainwater tank observed**

Appeared in serviceable condition at time of inspection. No warranty implied or given.

**Foundation: In serviceable condition at time of inspection**

Only visible portions of foundations inspected where readily accessible. No guarantee or warranty given to the structural design/capacity of the foundations especially footings below ground.

# 19: BOAT SHED

		INS	N/I	N/P	DEF
19.1	General	X			
19.2	Roof Condition	X			
19.3	Gutter/ Downpipes Conditions			X	
19.4	Window Conditions	X			
19.5	Personal Access Door Condition	X			
19.6	Vehicle Door Condition			X	
19.7	Floor Condition	X			
19.8	Exterior Wall Cladding Conditions	X			
19.9	Ceiling Lining Condition	X			
19.10	Internal Wall Lining Condition	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### General: Type

Boatshed

### General: Comments

Limited inspection due to storage of personal property., No access to subfloor

### General: Floor Material

Timber framed

### General: Roof Material

Colorbond steel

### General: Wall cladding Material

Fibre cement cladding with timber cover strips, Cement Fibre Sheeting

### General: P/A Door Material

Timber

### General: Garage Window Material

Timber Frame

### General: Vehicle Door Material/ Style

Not applicable

### General: Gutter/Downpipes Material

No gutters and downpipes present

### General: Ceiling Lining Material

Timber VJ boards

### General: Internal Wall linings Material

Exposed timber framing

### Window Conditions: In serviceable condition at time of inspection

### Personal Access Door Condition: In serviceable condition at time of inspection

### Floor Condition: In serviceable condition at time of inspection

Consistent with age and type of construction.

### Exterior Wall Cladding Conditions: In serviceable condition at time of inspection

### Ceiling Lining Condition: In serviceable condition at time of inspection

### Internal Wall Lining Condition: In serviceable condition at time of inspection

## Identification Image(s)



### Roof Condition: In serviceable condition at time of inspection

Roof shows normal wear for its age and type. No prediction on performance or warranty implied.

## 20: SITE/GROUNDS

		INS	N/I	N/P	DEF
20.1	Driveway	X			
20.2	Walkway	X			
20.3	Fences	X			
20.4	Gate/s	X			
20.5	Lot Grade and Drainage	X			
20.6	Grounds Observations	X			
20.7	Clothes Line	X			
20.8	Exterior Tap/s	X			
20.9	Rainwater Tanks	X			
20.10	Swimming pool	X			

INS = Item Inspected    N/I = Not Inspected    N/P = Not Present    DEF = Deficiency

## Information

### Driveway Material

Concrete

### Walkway Material

Concrete

### Fences

Colorbond metal, Powdercoated aluminium slats

### Gate Types

Aluminium slats

### Site Comments

No additional site comments

### Retaining Wall Materials

Sandstone blocks

### Off street car parking has been provided for?

2 Cars

### Driveway : In serviceable condition at time of inspection

Consistent with its age and type of construction.

### Walkway : In serviceable condition at time of inspection

Consistent with its age and type of construction.

### Fences: Fencing Images

Fencing appeared in serviceable condition at time of inspection

**Gate/s : Gate(s) Images and observations**

Gates in serviceable condition at time of inspection

**Lot Grade and Drainage : Steep Slope / multi-level lot****Grounds Observations: Grounds are generally in a serviceable condition at the time of inspection****Clothes Line : Appeared to be In serviceable condition at time of inspection****Exterior Tap/s : In serviceable condition at the time of inspection****Exterior Tap/s : Exterior Tap/s Location**

Front, Rear

**Swimming pool: Swimming pool compliance certificate required for sale**

This is not a pool compliance inspection

**Grounds Observations: Reticulation System Installed**

Not installed

What is a Reticulation System? - The reticulation system allows for the reinstatement of a chemical barrier around the foundations of the home utilising a network of drilled holes and injected pesticide. Using precise control of the chemical application, this system helps to protect against invasion by termites which would otherwise enter from the outside of your home.

**Grounds Observations: Termite baiting system installed**

Not installed

How a Termite Bait Station Works

Typically, termite bait stations will be installed to form a perimeter around your home, about 1 meters or so from your homes foundation. One bait station will be placed every 3 meters in narrow holes drilled by a specialized tool. Once installed, bait stations will be filled with non-toxic termite food until the presence of termites is confirmed. Then, the non-toxic food will be replaced by a toxic termite bait. Unlike standard termite barriers, which apply a liquid termiticide directly into the soil to kill termites that pass through it, termite baits allow for the toxic bait to be carried back to the nest and shared with other insects in the colony.

**Rainwater Tanks: Appear in serviceable condition at time of inspection**

Tanks are not assessed or tested as part of the building inspection standard. No warranty or guarantee of performance given

**Swimming pool: Observation**

Beyond the scope of this report but appeared in serviceable condition at time of inspection, no warranty or guarantee of performance implied or given. Suggest having pool expert inspection to confirm condition.

## Limitations

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Fences

**HEAVY OVERGROWN VEGETATION RESTRICTED INSPECTION OF FENCES**

This can provide a conducive environment for future termite activity.

Lot Grade and Drainage

**SURFACE WATER DRAINAGE OBSERVED**

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Recommend regular cleaning drains/pits of sediment and debris to ensure the system functions correctly—no prediction or warranty on the system's performance.

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Lot Grade and Drainage

**WHILE PERFORMANCE OF THE DRAINAGE SYSTEM MAY APPEAR SERVICEABLE AT TIME OF INSPECTION**

The inspector CAN NOT always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downpipes/gutter systems are complicated to detect during dry weather. Therefore, an inspection of foundation performance and water handling systems is limited to visible conditions and evidence of past problems. The buyer is advised to refer to Disclosure Statement for further information about drainage failure.

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Rainwater Tanks

**RAINWATER TANKS, PUMPS OR COMPONENTS NOT TESTED**

Recommend consulting with Licensed Plumber or Specialist to review the condition of these items and servicing requirements.

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Swimming pool

**POOL PUMPS, HEATER, ETC ARE NOT CHECKED FOR CORRECT OPERATION IN INSPECTIONS**

Appears to be in good working order at time of inspection, no guarantee or warranty implied.



**Site Drainage:**

Appeared adequate at time of inspection. Monitor during heavy rainfall. No guarantee or warranty given on the system.

In accordance with AS 4349.1-2007, the inspection of external drainage is limited to a visual assessment of surface water drainage only. The Inspector does not undertake testing of underground stormwater or sewer drainage systems, nor are drains pressure-tested, smoke-tested, or camera-inspected. Subsurface pipework, soak wells, and concealed drainage components are outside the scope of a standard pre-purchase inspection. The performance of drainage systems cannot be fully assessed without specialist equipment or during periods of heavy rainfall. Where concerns are identified or where site conditions suggest possible drainage issues, further investigation by a licensed plumber or drainage specialist is recommended.

**Structural Summary:**

No significant structural defects were observed in the visibly accessible areas at the time of inspection; however

Note: Whilst we are not Structural Engineers, this report is the opinion of the inspector based on his knowledge and experience. If the inspector has raised any suspicions at all. We strongly recommend you consult a structural engineer for further assessment.

**CONCLUSION SUMMARY: ABOVE AVERAGE CONDITION**

The overall condition of the property is considered above average relative to dwellings of similar age and construction. Most areas and components appear well maintained and reflect a good standard of workmanship. However, some areas will require repair or maintenance, as detailed in the body of this report. Timely attention to these items is recommended to maintain the property's condition and value.

## SCOPE, LIMITATIONS AND CONDITIONS OF INSPECTION

(Forming Part of the Inspection Agreement)

### 1. DEFINITIONS

Inspector means the person or company conducting the inspection and preparing the report.

Client means the person or entity named in the inspection agreement and report.

Property means the building and improvements located at the address specified in the inspection agreement.

Report means the written report issued following the inspection.

Major Defect means a defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of function, or significant deterioration of the property.

Safety Hazard means a condition that poses a significant risk of injury to persons.

### 2. PURPOSE OF THE INSPECTION

2.1 The purpose of the inspection is to provide the Client with a visual assessment of the property to identify major defects and safety hazards that are observable at the time of inspection.

2.2 The inspection is carried out in accordance with Australian Standard AS 4349.0-2007 and AS 4349.1-2007, unless otherwise stated.

2.3 The inspection and report:

- Are not technically exhaustive
- Are not a structural engineering assessment
- Are not a compliance certificate
- Are not a warranty or guarantee
- Do not determine the remaining life of any building component

2.4 The inspection is limited to the condition of the property on the day of inspection only.

### 3. VISUAL AND NON-INVASIVE INSPECTION

3.1 The inspection is strictly visual and non-invasive.

3.2 The Inspector will not:

- Remove screws, bolts, panels, or coverings
- Lift carpets or floor coverings
- Move furniture, stored goods, or heavy items
- Cut access openings
- Undertake destructive testing
- Use specialised testing equipment unless stated

3.3 The Inspector did not access areas considered unsafe or posing a risk of personal injury.

3.4 The Client acknowledges that defects may exist in concealed or inaccessible areas that cannot be identified without destructive investigation.

### 4. AREAS EXCLUDED FROM INSPECTION

Unless specifically stated in writing, the inspection did not include assessment of:

- Electrical systems or wiring
- Plumbing or drainage systems
- Gas installations
- Mechanical or motorised appliances
- Air conditioning systems
- Fire safety systems
- Swimming pools or spas
- Pool fencing compliance
- Retaining wall structural performance
- Waterproofing systems
- Environmental hazards
- Soil conditions or geotechnical matters

- Council approvals or planning compliance
- Illegal or unapproved building works
- Timber pest activity (unless separately contracted)

Specialist inspections are strongly recommended.

## 5. ACCESS LIMITATIONS

5.1 The inspection is limited to areas where Safe and Reasonable Access is available at the time of inspection.

5.2 Safe and Reasonable Access is defined by AS 4349 and includes areas where:

- Minimum access openings exist
- The Inspector can reach safely with a 3.6 metre ladder
- The area is unobstructed and visible

5.3 Roof access limitations include:

### Roof Void

- Minimum access opening: 400mm x 500mm
- Minimum crawl space: 600mm x 600mm

### Roof Exterior

- Accessible from the ground using a 3.6 metre ladder only

Second-storey roofs or unsafe roof surfaces will not be accessed.

5.4 Where access is restricted due to:

- Furniture
- Stored items
- Locked areas
- Heavy insulation
- Weather conditions
- Safety hazards

Those areas are excluded from the inspection.

## 6. STRUCTURAL MOVEMENT AND CRACKING

6.1 The Inspector is not a structural engineer.

6.2 The inspection does not determine:

- The cause of structural movement
- Foundation adequacy
- Soil classification
- Load-bearing capacity
- Structural design

6.3 Cracking observed during inspection is classified visually only.

6.4 Any cracking, regardless of size or location, should be referred to a qualified structural engineer for further assessment.

## 7. WATER PENETRATION AND DRAINAGE

7.1 The inspection cannot/did not determine the watertightness of:

- Roof coverings
- Shower recesses
- Balconies
- Below-ground structures
- Sub-floor areas during wet conditions

7.2 The performance of underground drainage systems is excluded.

7.3 Evidence of leaks may only become apparent during rainfall or extended use.

## 8. AGE AND BUILDING STANDARDS

8.1 The property is assessed against building practices applicable at the time of construction.

8.2 Older properties may not comply with current standards, including:

- Glass safety standards
- Balustrade height requirements
- Stair design standards

This does not constitute a defect unless it poses a safety hazard.

## 9. REPAIR COSTS

9.1 The Report does not provide cost estimates for repairs.

9.2 The Client should obtain quotations from licensed contractors prior to purchase.

## 10. THIRD PARTY RELIANCE

10.1 The Report is prepared exclusively for the named Client.

10.2 No responsibility is accepted to any third party who relies on the Report without the Inspector's written consent.

10.3 Unauthorised reliance on the Report is entirely at the third party's own risk.

## 11. LIMITATION OF LIABILITY (AUSTRALIAN CONSUMER LAW)

11.1 Nothing in this agreement excludes, restricts, or modifies any consumer guarantee or right under the Australian Consumer Law that cannot legally be excluded.

11.2 Where the service is not of a kind ordinarily acquired for personal, domestic, or household use, the liability of the Inspector for any breach of a consumer guarantee is limited to one of the following at the Inspector's discretion:

- The re-supply of the inspection service, or
- The payment of the cost of having the inspection service supplied again

11.3 To the maximum extent permitted by law, the Inspector's total liability arising from the inspection or report is limited to the inspection fee paid by the Client.

11.4 The Inspector is not liable for:

- Consequential loss
- Economic loss
- Loss of opportunity
- Loss of property value
- Costs associated with repairs not specifically identified as major defects in the report.

## 12. NO GUARANTEE

12.1 The inspection and report do not guarantee:

- The absence of defects
- Future structural performance
- Future water penetration
- Future failure of building components

12.2 The Report represents the professional opinion of the Inspector based on visible conditions at the time of inspection.

## 13. RE-INSPECTION

If the Contract of Sale becomes binding more than 30 days after the inspection, a re-inspection is recommended.

Conditions may change after the inspection date.

## 14. DISPUTE RESOLUTION

14.1 Any dispute must first be notified in writing to the Inspector.

14.2 If the matter is not resolved within 21 days, the parties agree to mediation.

14.3 Mediation will occur in the Inspector's local jurisdiction.

14.4 If mediation fails, the dispute may be referred to arbitration.

## 15. CLIENT ACKNOWLEDGEMENT

By accepting this Report, the Client acknowledges that:

- The inspection is visual and limited in scope
- Certain defects may not be detectable without destructive investigation
- Specialist inspections are recommended
- The Report is not a warranty or guarantee
- Liability limitations apply as permitted under law